



RENOVATION & EXPANSION PROJECT – CONSTRUCTION PHASE / start month 4

Clerk of the Works Report No. 14 – July 4, 2025

CURRENT ACTIVITIES

1. CONTRACT and PAYMENT STATUS

- Executed on March 21<sup>st</sup>, 2025
- Total Stipulated Sum is \$15,354,417.00. (\$1,260,000 professional fees, \$14,094,417 Construction)
- See Payment Log attached at end of report. **CONTRACT is 20 % COMPLETE**, measured by the formula **Total of Scheduled Values / Total Completed and Stored to Date**.

2. CONTRACT MONITORING and CHANGES T.B.D. (Potential Change Orders)

- Prices for five Alternates as listed in the specifications are being reviewed for consideration.

Alternates and status are:

- Alternate No. 6C-03: Adult Gathering Kitchenette 130 add \$13,264 **approved**
- Alternate No. 7C-02: 60 mil Roof Membrane Thickness deduct (\$10,170) **rejected**
- Alternate No. 8D-02: Glass Rails at Stair A add \$78,522 **rejected**
- Alternate No. 9D-01: Paint Exposed Ductwork add \$9,438 PCO **approved**
- Alternate No. 10-01: Fireplace at Great Room add \$30,795 *pending*

Note: Only Alternate No. 10-01 remains *pending*. Four Allowances still require conversion to final pricing through negotiations.

- The **Total Project Budget remains at \$16,995,000** to align with the May 2024 Bond Vote authorization of \$16,995,000. This budget is incorporated into Contract amendment 2 as Exhibit J.
- The OWNER COSTS portion of the Total Project Budget continues to be managed by Nick, Dana and Judith to ensure tracking of expenditures and predictions remain aligned with resources.
- Tariff effects remain unclear as to timing and scope – a contract exclusion. If implemented by the federal government, they will become an Owner Cost. **NO EFFECTS SEEN TO DATE.** **CLT decking from Canada remains in the category of exceptions to tariff charges.**
- **Some good news! GMP has determined they do not need to upsize the current transformer serving the library. Further, the IPL meter in place can remain on the transformer pad rather than be relocated to the new building. The electrical shutdown for Ilsley required to convert to new power feeds will NOT require any shutdown of Town Offices power. (Potential Rebate at end of project)**

3. GEOTHERMAL SYSTEM progress

Well drilling by Spafford & Company for production wells in lower and upper parking lots is complete and capped. Well testing is also complete. and (line sets and pumps to be added).

The next step in the geothermal system installation is the sitework required to bury input and injection lines underground beneath the ramp and upper parking lot, (awaiting engineering calculations below).

ESV (Mechanical Engineers) is still finalizing the Geothermal System design including pump sizes, line wire sizes, and system design components for the interior mechanical room. **A credit may be due to the Owner.**

#### 4. DEMOLITION WRAP-UP

Minor demolition is all that remains within the 1924 building: electrical room and under slab plumbing prep. Salvaged materials (slate and marble) have been moved in the CONEX box to the Town's stump dump, with permission of DPW. This site will also be used for subcontractor materials storage containers, and perhaps parking with shuttle service for tradespeople, to accommodate the numbers of tradespeople on the site as they vary from an average of 20 to a maximum of 50.

NOTE: The Construction Field Office continues to be housed within the 1924 building (Main Level, former admin offices area). Due to the constricted nature of the job site, a job trailer may not be brought to the site at all, to reserve space for sitework and materials laydown throughout the duration of 3 phases of construction.

#### 5. THE AGE of DISCOVERY: Three weeks to go...

Until this project reaches the phase when we are "out of the ground", we will remain subject to discoveries that can cause what ReArch calls "potential cost events", due to concealed conditions or requirements for change considerations. A brief listing of those follows:

##### 1924 building

- Geothermal Wells- depth overage – converted to PCO\* No. 004 (\*Potential Change Order)
- Electrical wiring – CODE investigation confirms all new wiring is required.
- Roof sandwich - slates, underlayment, sheathing, flashings, fascia, soffits - PCO No. 002 is placeholder based on price by A C Hathorne. Pricing underway from 2 reputable slate roofing companies from Vermont: G. Helms Construction and Sbardella. (local examples of their work - Town Hall Theater and Middlebury College facilities).
- Foundation drainage and sump pumps / floor drains. Designs complete – pricing underway.
- Additional lead abatement locations (T&M only – Time and Materials – separate funding)
- Reconfiguration of water feed from Main Street to separate domestic water from sprinkler. (T&M to be converted to future PCO)
- Electric duct bank serving other parts of town (hospital), was discovered – previously unknown.
- Historic façade infills where exposed. Detailed drawings of extent prepared. Materials investigations underway.
- Existing wiring scheduled for re-use does not meet code. Owner awaits pricing from ReArch to replace and investigate pathways.

##### 71-73 Main

- Existing wood retaining wall / west foundation Ilsley addition - re-designed in concrete.
- Buried propane tank (no longer in use). OK'd for inert filling in place – sand or flowable fill.
- Roof water drainage to storm drain line and structure. Design complete.
- Septic line and pump. Design complete.
- Vermont Gas meters (4) to be relocated per utility request. Option favored by Vermont Gas for relocation to Bakery Lane facade of Ben Franklin requires approval of new owner. Proposed location will be protected from vehicular damage by bollards and handrail systems.
- Owner Bob Eddy is up to speed and approves scope of proposed work: filling propane tank, providing new sewer line under Ilsley's slab, and installation of storm water discharge per Middlebury requirements. Maintenance easement requested by Mr. Eddy.

Future editions of this report will keep you apprised of further developments and resolutions.

## 6. SITE WORK & UTILITIES

Installation of top two courses of the retaining wall construction at the upper parking lot's east boundary and bringing the grade of the new parking up to an even subgrade level should be accomplished the week of July 7. Sitework including concrete footings, foundations, elevator walls and slab below grade, and circular retaining walls at historic west façade should be complete within 3 weeks, west to east.

The advantages of having the same subcontractor performing both site work and concrete are apparent in the current workflow. With a tight site and delay potentials at every turn, ReArch can direct ECI to focus attention on multiple aspects of the project at different locations simultaneously without creating scheduling issues.

## 7. PERMITTING and Inspections

All permits / easements are in place excepting: one easement between the town offices and the library. This legal easement must be in place prior to final inspections. Other potential easements for 71-73 Main and underground utilities in the parking lot may also require recording. Jbh to work with Mark P to execute as a package once all are known. **Town attorney (Benj Putnam) has been notified of need.**

## 8. FURNITURE and INTERIOR details

A series of meetings between Dana Hart, Barbara Doyle-Wilch, jbh and Wiemann Lamphere team have begun to fine-tune this category of Owner Costs (\$400,000 budget). Each item must be reviewed and compared with casework to be constructed for a fully functioning library.

We are also reviewing all interior finishes and colors prior to finalization of interior contracts, to ensure this library will feel like it belongs in Middlebury, Vermont. **Next meeting to finalize interior color palette will follow Dana's return in mid-July.**

## 9. PROPERTY MAINTENANCE proposals from ReArch Properties forthcoming for review:

- Annual Budgeting 10-year plan to identify likely costs for maintenance
- Maintenance contract for providing services necessary to implement above

## 10. SHORT INTERVAL SCHEDULE: On-Site – Danforth (plumbing), ECI site/conc, Omega (elec), GMP

Three-week look-ahead will see continuation of site, concrete, waterproofing, and electric / gas utilities.

- Elevator pit will be waterproofed and backfilled
- Footings and thickened slabs will be formed and poured sequentially in quantities reflective of the capacity of concrete trucks. Footing drains will be placed, waterproofing applied.
- Power will be temporarily disconnected to set up new generator/disconnect panel
- Remaining 1977 foundation will be demolished.
- Gas line will be relocated.
- West 1924 stairs will be carefully chipped back from cheek walls in preparation for new stairs.

ATTACHMENT:

PHOTOS NEXT PAGE >>>>



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Judith Bell Harris . Clerk of the Works for IIsley Public Library

Harris&Harris Consulting, LLC

Questions? Comments?

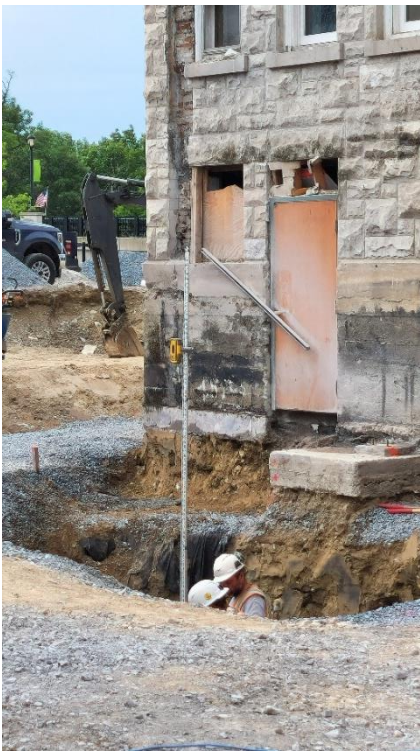
Email: [judith@harrisandharrisot.com](mailto:judith@harrisandharrisot.com) Phone: 802.922.1321



*IPL Ph 1 steel structural elements, stored offsite, at American Steel Fabricators in Greenfield, NH*



*Tight quarters! An ECI employee must squeeze sideways between the south retaining wall of 71-73 Main and Ilsley's new northwest retaining wall, to strip concrete forms.*



*The Elevator Pit Triumvirate: ECI workers carefully tamp and measure depth of excavation, excavator operator removes material to waiting dump trucks, concrete pad and walls are formed and poured via pump.*