
RENOVATION & EXPANSION PROJECT – **CONSTRUCTION PHASE / Month 11**

Clerk of the Works Report No. 21 – February 28, 2026

WINTER CONSTRUCTION means and methods continue. Ilsley is still on track for **July 24, 2026 – 5 more months until our substantial completion date.** Our first move-in of book collection shelving remains on target for mid-July. We conducted our 44th official OAC meeting (Owner-Architect-Contractor) on Thursday, February 26th. These remain lively exchanges of information needed to keep the project moving forward, addressing all questions requiring answers.

From the exterior, changes you can notice are:

- Triangular reinforced fiberglass enclosures marching around the base of the building are gone. These tents were miniature greenhouses required for Tedesco to set the bluestone base course in mortar which must be protected from frost for a minimum of 24 hours. That work is now complete. **PHOTO page 4**
- Activity on the roof terrace and high roof as well. If you sense the roof terrace parapet wall looks lower than what you had become accustomed to seeing, you are correct. ReArch has cut the height by about 13" – at their own cost. The original design had been detailed higher than the minimum requirement of 42", and no one on the team was happy with the resulting "cut-off" of view. The results are quite noticeable. Our thanks to ReArch for voluntarily making this adjustment. **PHOTO page 4**

Once inside the beehive (10-12 trade teams buzzing over every inch of construction) you feel welcoming physical warmth, and a sense of genuine comradery between workmen. Several workers speak only Spanish, adding to the flavor of a universal community. Technology is prolific. Hand-held phones and drop-protected tablets with all necessary drawings and instructions installed are a common sight. Crew supers each have their own central workstation for additional paper drawing reference and coordination.

CURRENT ACTIVITIES:

- **Terracotta tile cladding (1) – part of and extruded ceramic rainscreen system (2)** has found its way from Germany to Williston. Installation by Exterior Designs Inc, Londonderry, NH will begin in early March and will transform all that blue vapor barrier into a beautiful, durable matrix of technically superior finished wall surfaces.

SEE : FOOTNOTES (1) (2) with generic RAINSCREEN DIAGRAM **Page 2**

Terracotta tile **PHOTO Page 4**

Detail at Wall/Foundation **Page 5**

- **Chey** (our insulating team) will soon shift their attention to exterior wall insulation, the next step in preparation for the long-awaited terracotta cladding.
- **A.C. Hathorne Roofing** is responsible for the installation of the large triple-wall domed skylight over the south atrium. It was placed on February 19th and provides an amazing amount of light to the interior of this soon to be active public atrium. As with most exterior openings, the view through them frequently remains a hidden secret that once unveiled becomes a picture frame, capturing a delightful sliver of the immediate world outside. **PHOTO Page 6**
- **Optimum**, our light gauge metal framers and sheetrockers have nearly completed both floors of interior partition definition and have shifted gears to interior gypsum board installation as in-wall utilities are completed. Their work is of excellent quality on some extremely challenging applications (tightly curved walls). **PHOTO Page 6**

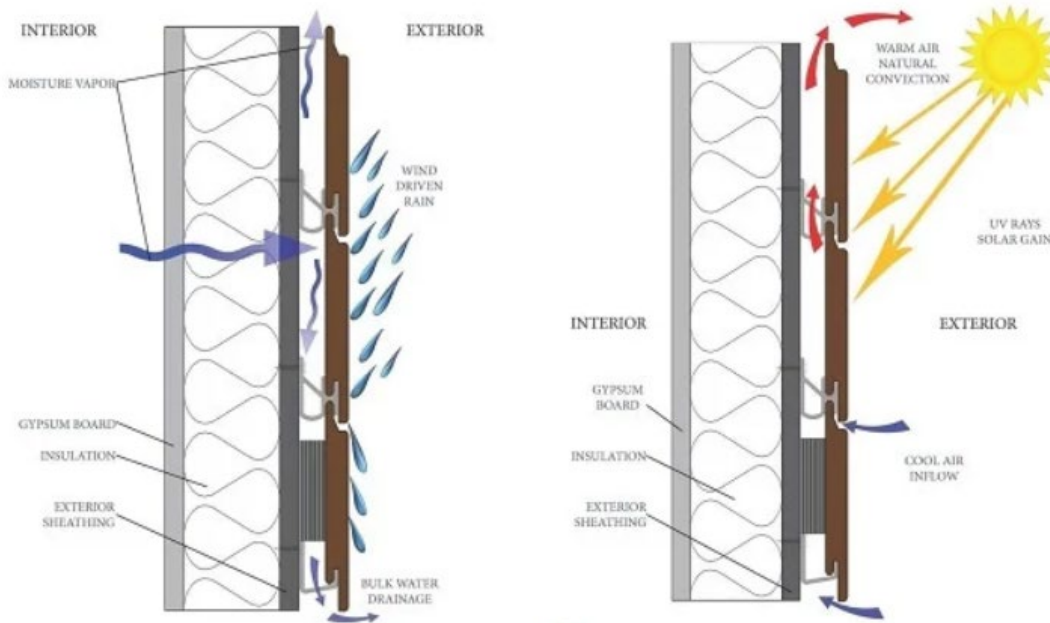
FOOTNOTE 1

Extruded ceramic terracotta tiles are durable, natural clay tiles formed by forcing wet, plastic clay through a shaped mold (die) to create a continuous ribbon, which is then cut to size. Known for their rustic appearance, earthy tones, and high-strength, these tiles are ideal for high-traffic, indoor/outdoor floors, patios, and facades due to their low water absorption, and frost resistance.

FOOTNOTE 2

A **rainscreen system** is a protective building envelope designed to manage moisture by creating a ventilated cavity between the outer cladding (terracotta tiles) and the inner water-resistive barrier. This assembly prevents water intrusion, enables drainage, and promotes rapid drying of the building facade, significantly increasing longevity and energy efficiency. See generic diagram below.

How Rainscreen Creates A Passive Insulation Layer



CURRENT ACTIVITIES continued:

- **A.C. Hathorne** is also responsible for all membranes on the roof surface are currently IN PLACE although their terminations and transitions are still in process, including parapets on low and high roofs. Hathorne has moved on to the challenges of expansion joints. At every condition around the 1924 building, flexible but waterproof joints must be created to bridge the intentional gap between 1924 and 2026 construction. **PHOTOS Page 7**
- **Danforth’s HVAC team** continues work on heat pump and ductwork installation. You can discern which units/ducts are to remain exposed under the CLT ceilings by the fact that they are painted “Cloud White”.
- **Danforth’s plumbing team** is focused on geothermal system installation and toilet room / kitchenette set-ups.
- **Painting** (Painting with a Purpose) has shifted to finish coats on steel elements in the addition and refurbishing the existing surfaces in the 1924 building. The Great Room looks, well great! It has received a skim coat treatment of “mud” slurry, fine sanding, and finish paint. Ahead are the difficulties of matching stains on new wood to 100-year-old red oak woodwork, casework, and flooring. Lots of sampling ahead!
- **ReArch’s self-performance crew** has handled many complex, limited scope tasks under the direct supervision of Ben Scribner. These vary: installing window extrusions, re-setting the height of the roof terrace parapet, multiple re-framing tasks in the 1924 building, forming and pouring pads for mechanical equipment. They are flexible and broadly experienced, saving us additional costs by avoiding adds to subcontractor scopes of work or schedules.

- **Omega Electric** continues as the anchor to all subcontractors, in that they are present from beginning to end. They have completed in-wall and lighting rough-ins and are now focused on exposed lighting rough-ins, starting with Level 1, then transitioning to Level 2. The electric room hub in the 1924 lower level continues to burgeon with the sources and homeruns of electrical services throughout the entire facility.
- Finally, Ilsley’s owner-supplied contractor for Building Envelope Commissioning (Silas-O’Brien, Quinn Treadgold) has completed their second on-site visual inspection on February 13. A report has been issued with timely recommendations for minor areas of improvement. Building components examined were window installations, wall to roof transitions, beam penetrations, canopy assemblies, IMP panel seals to foundation and blueskin. The findings of this group will determine a score of “tightness” that will affect compliance with Building Energy Standards, ratings and rebates.

1924 building

The challenges presented by our well-intentioned efforts to preserve the integrity of this historic structure while ensuring it meets present-day operations needs and building codes are ever unfolding. These situations require quick analysis, flexibility, and across-the-board teamwork to address. The rewards, however, will be apparent to you at our Grand Re-Opening! They will appear in small vignettes throughout as you experience new uses for old spaces, as well as a seamless circular flow between new and historic construction. **PHOTOS Page 8**

OWNER responsibilities and coordination

- **Furniture**
Our work with Office Environments Inc. (OEI) of South Burlington continues with final rounds of pricing for interior furniture, library shelving, and roof terrace furnishings. Last week we began the “fun” part of selecting fabrics and finishes for all the pieces to complement the interior designs of WLArchitects. Orders will be placed in batches, according to lead times and when they will be needed on site.
- **EAC (Electronic Access Control) and keying systems** details have been resolved which will result in a single key-fob access to all spaces traveled by staff, accompanied by a very limited number of specialty access fobs or keys.
- **Lighting Controls** required work sessions between owner and contractor(s) to establish how we wish lighting to function. Much of the system is governed by occupancy sensors, with additional programming for public spaces. As use of the building plays out in the future, these systems are programmable to allow for changes.
- **Signage** seems like a minor consideration until one realizes the impact and volume of this Owner effort. Exterior signs require a permit from Planning and Zoning to ensure compliance with local regulations (Granted Feb 25!). Interior signs are four-fold: Code-required space identification (room number, name, braille interpretation), directories and way-finding signage, donor recognition and dedication plaques, and book collection identification. Each of these classifications require consideration of aesthetics, position, and appropriate font size, and sometimes require different vendors to fabricate and install.

THAT’S ALL FOLKS, until MARCH 31!

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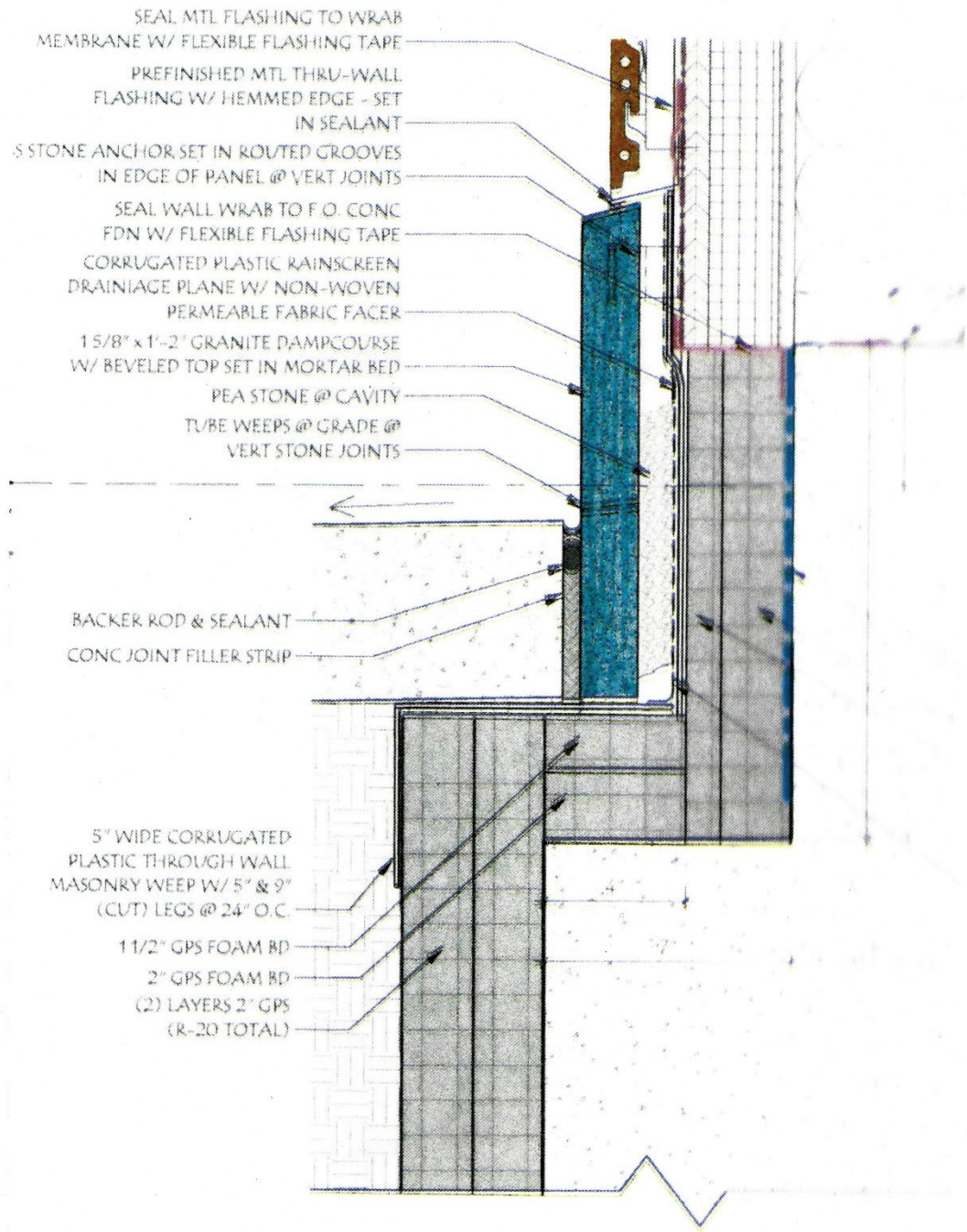
PHOTO ESSAY: Late-February 2026



BLUESTONE damp course (base course) in place. **TEST FIT!** EDI crew hangs the first piece of terracotta. Perfectly level, plumb, and true! March 05, 2026.



ROOF TERRACE parapet wall, reduced in height.

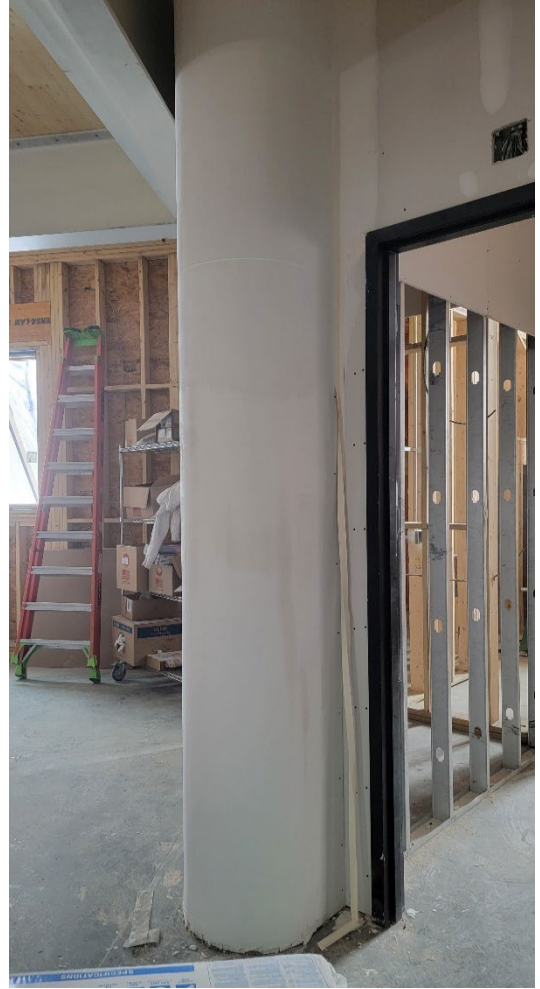


4A ENLARGED SECTION DETAIL
 AS.30 3" = 1'-0"

DETAIL at BASE of WALL / FOUNDATION
Bluestone highlighted in BLUE, Terracotta Cladding Tile in ORANGE.



Atrium triple pane dome skylight in place.
1924 building east dormer perfectly framed above.



Community Room: Optimum's skill evident.
Difficult radiused gypsum board detailing!

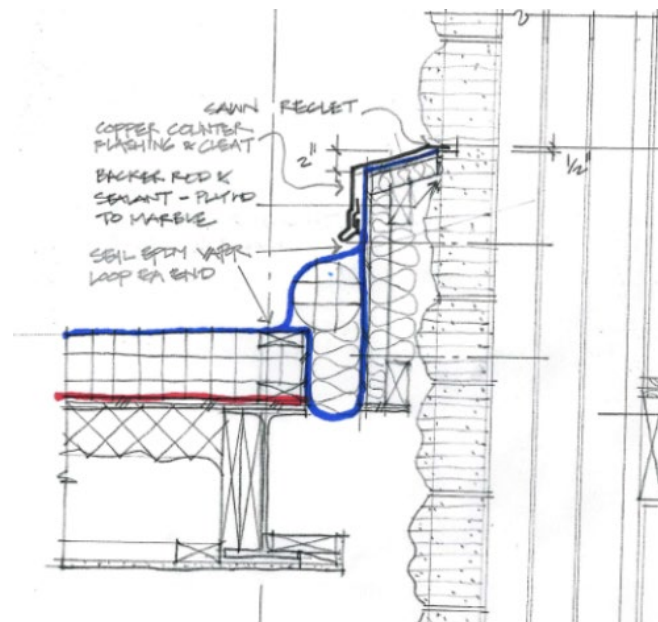


Another framing puzzle to un-snarl, attic of the 1924 building and compromised roof rafters requiring replacement. Engineering Ventures, our structural engineer has been extremely responsive to each situation with a rapid practical solution.



Copper flashing details at expansion joint between 1924 building and roof terrace. AC Hathorne team at work carefully creating and fitting pieces from flat stock.

Expansion joint assemblies “allow for movement caused by thermal expansion/contraction, wind sway, seismic events, or loading. They prevent cracking, buckling, and structural damage by separating materials, allowing them to shift independently”. Our versions of these complex assemblies are many and varied, requiring extensive experience and technical skill to be successful. They are also a critical part of our building envelope “score” for tightness and Energy Standards compliance and will directly affect our rebates from Efficiency Vermont.



Field Sketch of expansion joint detail (T. Duff)



This second-floor double passageway from the new adult collection into the 1924 reading room and study rooms was designed to be at the same floor level. After demolition of the 1988 addition, we found openings had been blocked off, marble units demolished, all rafter tails and classic soffit detailing removed. This must all be painstakingly replaced. We will extend the rafter tails, re-use masonry units salvaged on site, and our D/B team has found a local woodcrafter (Treehouse Hardwoods) capable of replicating historic trim profiles, a rare talent in 2026.

Below, Tim Duff (WLA architect) and Ben Scribner (ReArch superintendent) puzzle through options for yet another “concealed condition”). This is a test of true teamwork. So far our project’s end results have benefitted handsomely.

